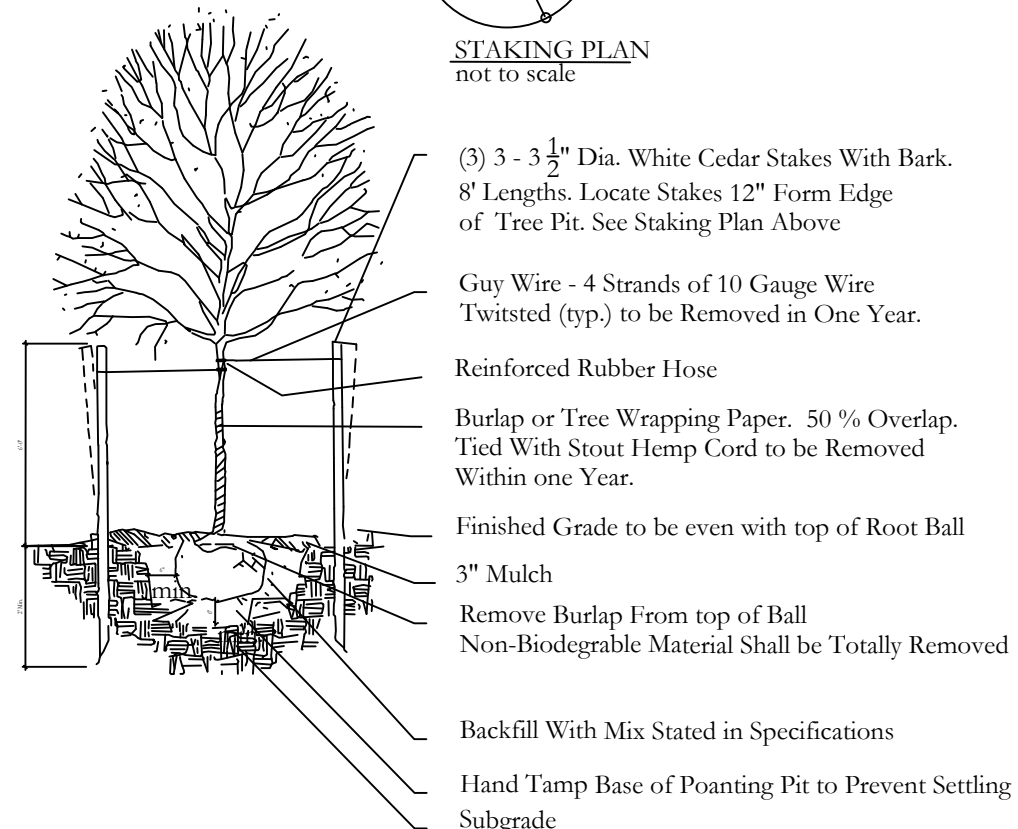
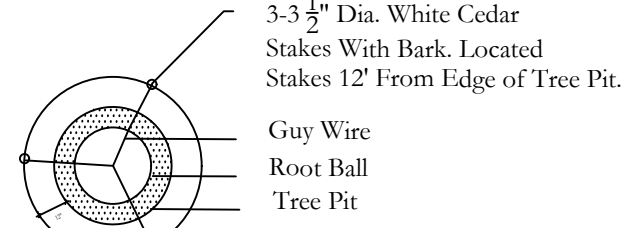
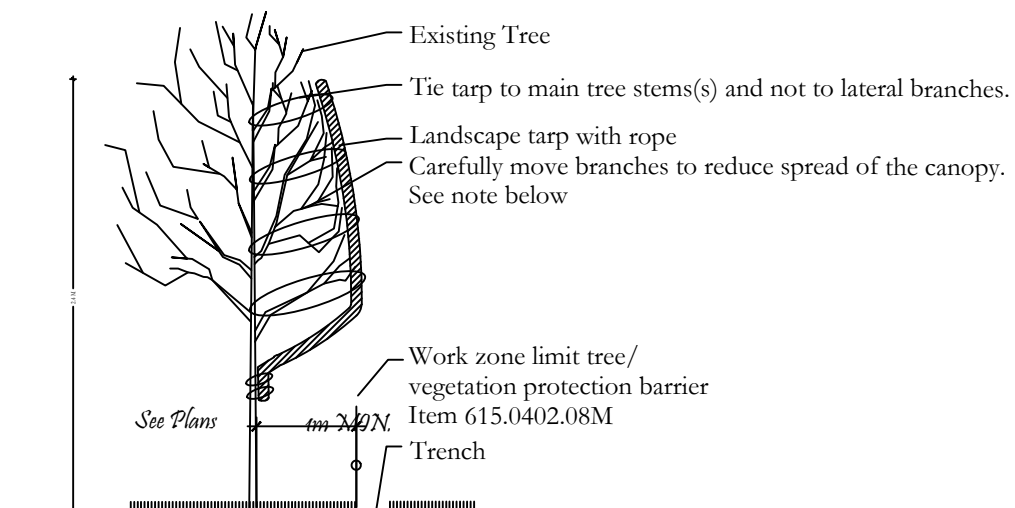


1. Protected root zone (PRZ) shall be defined as the area directly below the dripline of the tree or the critical root radius, whichever method is judged as appropriate in the field by Borough Landscape Architect. Critical root radius (expressed in ft.) = tree dia. at breast height (in.) multiplied by 1.5.
2. For maximum protection, no vehicle trespass, excavation, fill, waste, discharge, or material storage shall occur in the PRZ. Protection fence shall be put in place prior to start of demolition and construction.

1  
3  
Tree Protection Detail  
*Not to scale*

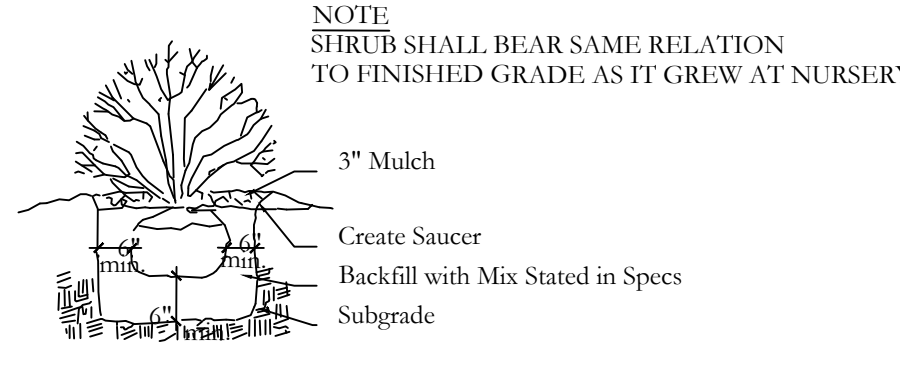


4  
3  
Deciduous Tree Planting and Staking  
*Not to scale*

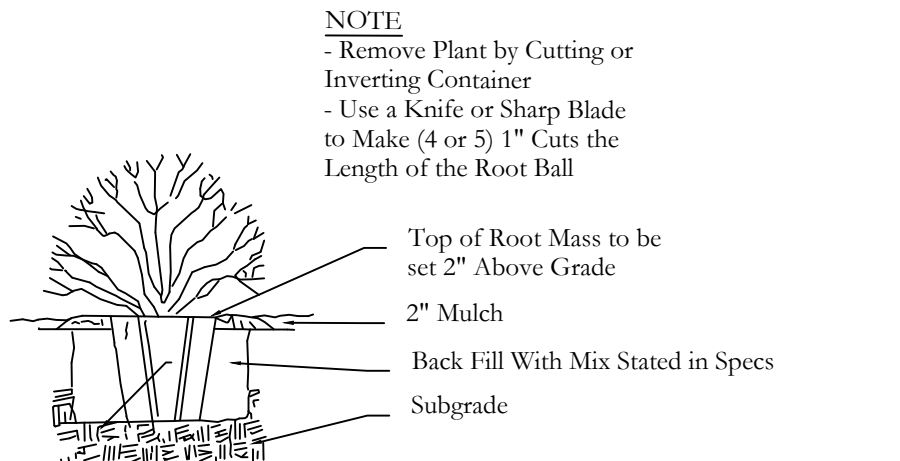


- Note:  
At locations where the branches of existing trees extend over or are close to an area where trenching or other work will be performed, the contractor, under the supervision and guidance of the arborist, shall carefully tie-back the branches using a lightweight tarp and rope, making sure no branches are broken or foliage damaged. The branches shall not be tied-back any longer than the time needed to perform the trenching and conduits installation work immediately adjacent to the tied-back tree. In no case shall the branches be tied-back longer than 24 hours. Cost to be included in the price bid for trenching items.

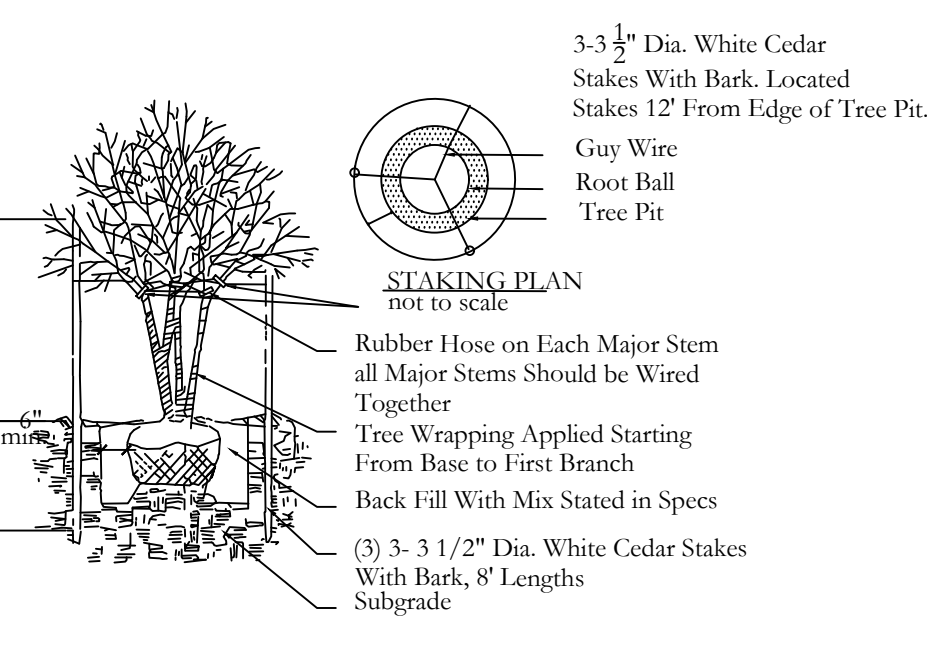
2  
3  
*Not to scale*



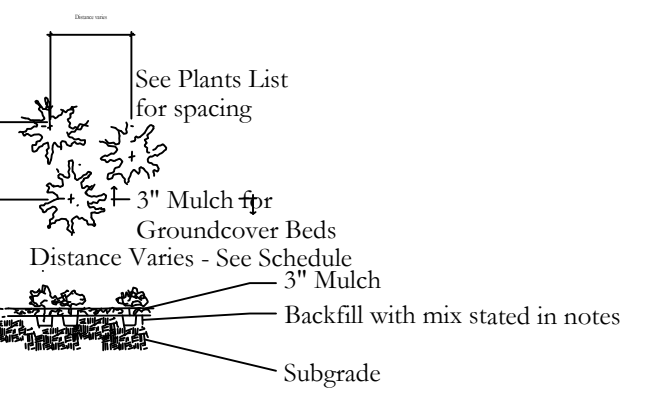
5  
3  
Ball and Burlap Shrub Planting  
*Not to scale*



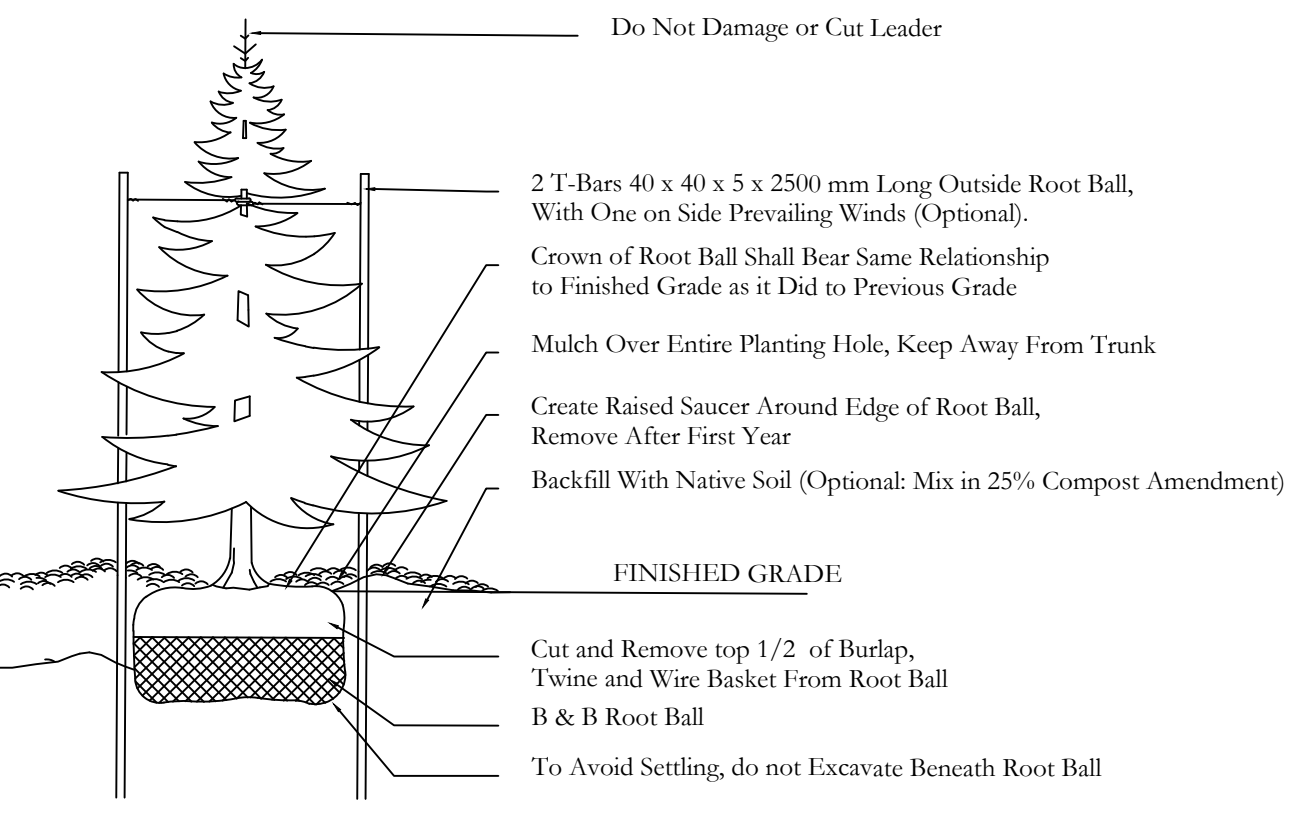
6  
3  
Containerized Shrub Planting  
*Not to scale*



3  
3  
Multi-Stem Shrub Planting  
*Not to scale*



3  
3  
Ground Cover  
*Not to scale*



8  
3  
Coniferous Tree Planting and Staking  
*Not to scale*

**General Landscape Notes:**

1. All areas to be planted are to be cleared of debris such as dead branches.
2. All planting areas to be cleared of misc. construction debris. Soil to be mechanically ripped to reduce compaction.
3. All planting beds shall be treated with a broadleaf pre-emergent to manufacturers specifications prior to the installation of any mulch.
4. All plant beds shall receive three inches (3") of shredded hardwood bark mulch.
5. Mulch shall be cleared from the base of all plants to a distance of 1" from the edge of plant base.
6. Plant pits shall be a minimum of 12" wider and 6" deeper than the root ball. Removed all existing soil and backfill with a mixture of one part peat-humus to four (4) parts topsoil. Add three (3) year Eesey grow fertilizer packets (or equal) - 1 per inch of tree caliper or per 12" height of shrub.
7. All plant material to be guaranteed for one (1) planting season.
8. Contractor shall guarantee no damage to existing plant material not subject to transplanting.
9. Transplanted plant material to be moved to new locations no more than 24 hours after it is removed from original location.
10. All plant material to be transported or transplanted to site free from wind damage.
11. All plant material shall be placed under the direction of an appropriate licensed landscape design professional. Notify 48 hours prior to planting.
12. All planting beds to be prepared and to be free from hardpan conditions.
13. Existing Trees where noted on plan should be protected and preserved.
14. Care should be given to protect existing trees that are within 20' of the limit of disturbance.
15. Contractor to repair all lawn areas damaged during construction to pre-construction status. Lawn repair subject to Landscape Architect's acceptance.
16. All plant material shall be nursery grown and shall conform to the American Association of Nursery Men's Standards.
17. All plant beds and lawn areas shall be serviced by an automatic irrigation system.
18. All trees within the "Restoration Area" shall be serviced by drip irrigation.
19. All plant beds shall receive nine inches (9") of topsoil (settled) and all lawn areas are to receive four inches (4") of topsoil.
20. All lawn areas shown on the plan to be sodded. f
21. Any discrepancies between the plans prepared by Costa Engineering, and Biosphere Landscape Architecture regarding tree quantities shall refer to the plans prepared by Costa Engineering. Furthermore, contractor shall refer to Costa plans for any house footprint or hardscape improvements.

**GENERAL NOTES:**

1. VISIBILITY TRIANGLES FROM DRIVEWAYS AND PARKING LOTS SHALL NOT BE OBSTRUCTED BY ANY PLANTING, PERMANENT OR TEMPORARY STRUCTURE. ALL PLANTING SHALL BE MAINTAINED AFTER CONSTRUCTION TO PROVIDE ADEQUATE VIEWS FROM DRIVEWAYS AND PARKING LOTS.
2. ALL PLANTINGS ADJACENT TO DRIVEWAYS AND PARKING LOT ENTRANCES SHALL BE REVIEWED BY APPROPRIATE STATE AND LOCAL AGENCIES PRIOR TO INSTALLATION SO AS TO ASSURE ADHERENCE WITH ALL SAFETY REQUIREMENTS.
3. ALL HORIZONTAL AND VERTICAL CONTROL AND LAYOUT TO BE PROVIDED BY A NJ OR NY LICENSED SURVEYOR (WHICHEVER IS APPLICABLE). THE INFORMATION PROVIDED IN THIS PLAN IS CONCEPTUAL IN NATURE AND FOR ILLUSTRATIVE PURPOSES ONLY AND SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
4. TOWN MUST BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION OR AS DIRECTED BY THE BUILDING DEPARTMENT.
5. RIGHTS OF WAY AND /OR EASEMENTS OF THE GROUND OR BELOW SURFACE ARE NOT SHOWN AND ARE NO WAY INDICATED ON PLAN. OWNER AND STATE LICENSED SURVEYOR TO IDENTIFY PRIOR TO CONSTRUCTION.
6. ALL ESTIMATED QUANTITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
7. ANY DISCREPANCIES FOUND ARE THE RESPONSIBILITY OF THE CONTRACTOR TO REVEAL TO THE OWNER, ENGINEER, OR LANDSCAPE ARCHITECT.
8. CONTRACTOR TO VERIFY ALL DIMENSIONS, ESTIMATED WALL HEIGHTS, ELEVATIONS, PITCHES, PROPERTY CORNERS, FENCE LOCATIONS, AND GENERAL GRADING PRIOR TO BIDDING THE PROJECT.
9. LOCATION OF ALL UTILITIES, EASEMENTS AND ROW IS RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY. NO ATTEMPT HAS BEEN MADE TO INDICATED ANY ABOVE GROUND OR BELOW GROUND INCLUDING GAS, ELECTRIC, WATER, SEWER, GREY WATER, POOL UTILITIES, UNDERGROUND MUNICIPAL DRAINAGE IMPROVEMENTS, ETC. ON THIS PLAN.
10. THIS PLAN IS CONCEPTUAL IN NATURE, ACCURACY SHALL BE VERIFIED IN THE FIELD PRIOR TO COMMENCEMENT.
11. CONTRACTOR TO ADHERE TO ALL LOCAL REQUIREMENTS THAT MAY SUPERSEDE THE DETAIL ON THE PLAN.
12. CONTRACTOR RESPONSIBLE FOR SECURING ANY AND ALL PERMITS REQUIRED FOR THE IMPLEMENTATION OF THE PLAN.
13. NO ATTEMPT HAS BEEN MADE TO INDICATED EXISTING TREES ON THE PLAN. ANY TREES THAT ARE WITHIN THE AREA TO BE IMPACTED BY THE PLAN SHALL BE VERIFIED BY THE CONTRACTOR TO NOT BE A HERITAGE TREE OR TREE LARGER THAN 6" DBH PRIOR TO REMOVAL. ANY SUCH TREES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR RESPONSIBLE TO SECURE ALL TREE REMOVAL PERMITS PRIOR TO COMMENCEMENT.

LOCATOR MAP  
N.T.C.

1	4.30.20	WASER ENGINEERING - FEBRUARY 25, 2020
Rev.	Date	Description

Project Title  
411 Clinton Avenue  
Borough of Northvale  
Bergen County, NJ  
Lots 18.01 - 18.04, Block 501

Sheet Title  
Landscape Details

**Biosphere**  
Landscape Architecture  
LANDSCAPE ARCHITECTURE + PM  
PO Box 499, Saddle River, NJ 07458  
Phone: 201.236.3628  
Facsimile: 845.352.1498

DWG. No. :	LA-2
Sheet No. - 2 of 2	
Drawn by: WB	William R. Boyce
Checked by: WB	Landscape Architect
Date: 12-09-2019	NJ - A500773
Scale: As Noted	NY - 002080