

R-7.5 Residential						
	Requirements	Prop Lot 18.01	Prop Lot 18.02	Prop Lot 18.03	Prop Lot 18.04	Variance
Lot Area	7,500 sf	12,618 sf	10,851 sf	9,085 sf	11,292 sf	No
Lot Width	75 ft	75 ft	75 ft	75 ft	125.79 ft	No
Lot Depth	100 ft	168.22 ft	144.67 ft	121.10 ft	89.40 ft*	No
Lot Frontage	60 ft	75 ft	75 ft	75 ft	129.09 ft	No
Setbacks						
Front Yard (Frances)	25 ft	40.7 ft	30.0 ft	25.2 ft	25.0 ft	No
Front Yard (Clinton)	25 ft	25.2 ft	NA	NA	NA	No
Side Yard	10 ft	23.8 ft	14.8 ft	15.0 ft	10.0 ft	No
Side Yard	10 ft	NA	14.8 ft	14.6 ft	40.2 ft	No
Rear Yard	30 ft	45.5 ft	52.8 ft	39.1 ft	30.0 ft	No
Min Floor Area	1000 s.f.	**	**	**	**	No
Bldg. Hgt.	30 ft	24.7 ft	24.8 ft	24.6 ft	24.9 ft	No
Max. Lot Cov.	25%	2013 sf./16.0%	2383 sf./22.0%	2252 sf./24.8%	2013 s.f./17.8%	No
Green Area	50%	9541 s.f./75.6%	7316 s.f./67.4%	5703 s.f./62.8%	8223 s.f./72.8%	No

* Existing Non-Conformity
 ** See architectural plans.
 Use variance requested for duplexes where single family, detached housing is allowed.

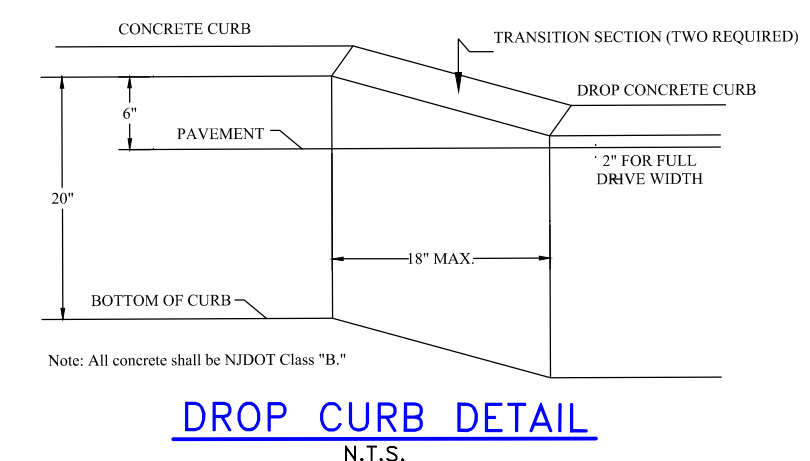
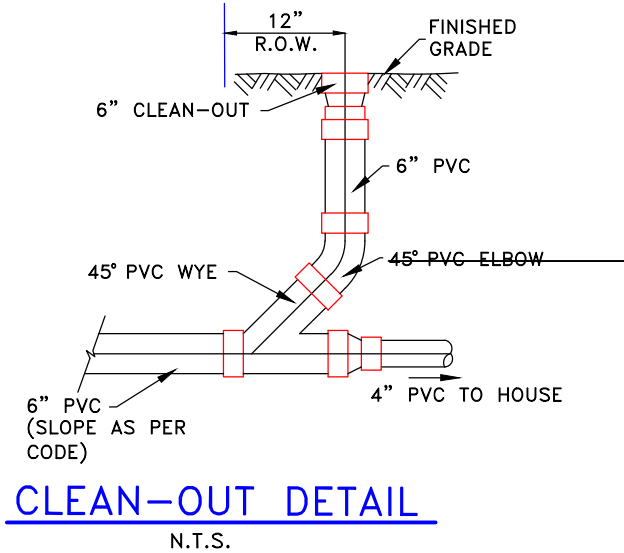
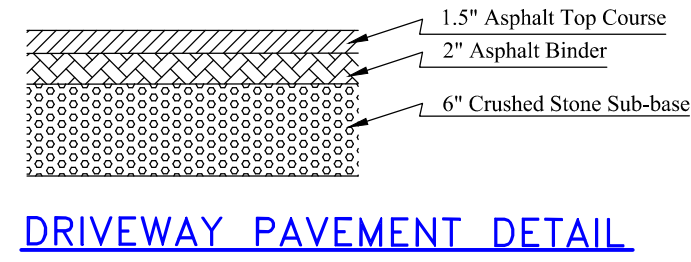
LOT 18.01 COVERAGE CALCULATIONS		LOT 18.02 COVERAGE CALCULATIONS		LOT 18.03 COVERAGE CALCULATIONS		LOT 18.04 COVERAGE CALCULATIONS	
DWELLING TOTAL	2013 sf = 16.0%	DWELLING TOTAL	2383 sf = 22.0%	DWELLING TOTAL	2252 sf = 24.8%	DWELLING TOTAL	2013 sf = 17.8%
FRONT WALK/STEPS	138 sf	FRONT WALK/STEPS	130 sf	FRONT WALK/STEPS	130 sf	FRONT WALK/STEPS	136 sf
MECHANICAL PADS	18 sf	MECHANICAL PADS	18 sf	MECHANICAL PADS	18 sf	MECHANICAL PADS	18 sf
PATIO/STEPS	320 sf	PATIO/STEPS	286 sf	PATIO/STEPS	320 sf	PATIO/STEPS	320 sf
DRIVEWAY	590 sf	DRIVEWAY	720 sf	DRIVEWAY	584 sf	DRIVEWAY	584 sf
TOTAL	3077 sf = 24.4%	TOTAL	3535 sf = 32.6%	TOTAL	3382 sf = 37.2%	TOTAL	3069 sf = 27.2%

Soil Moving Requirements - Lot 18.01	
Basement	
Area = 1360 sf Area w/1.5' overdig = 1738 sf	
Avg. Cut = 6.5 ft	
Cut = (1738 sf)(6.5 ft) = 418	
Total Cut = 418	418 yds cut
Backfill = (1738-1360)(6.5)	91 yds fill
Garage Fnd. 32 LxH (52 ft)(4.5)(4.5)	24 yds cut
Backfill (2/3)(24)	16 yds fill
Seepage Pits	54 yds cut
	14 yds fill
Total Cut	496 yds cut
Total Fill	121 yds fill
Net Soil Removed from Site	375 yds

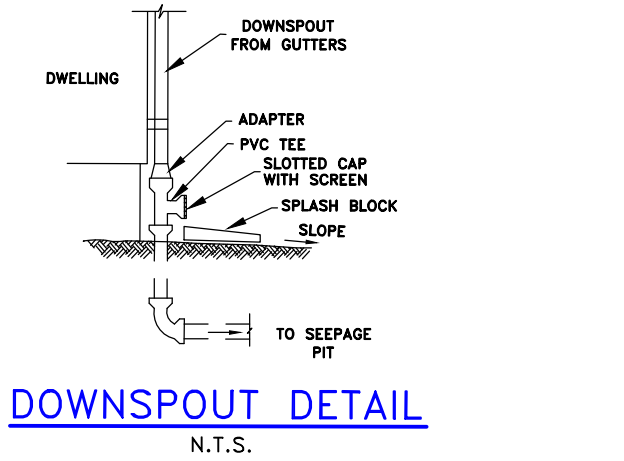
Soil Moving Requirements - Lot 18.02	
Basement	
Area = 1554 sf Area w/1.5' overdig = 1840 sf	
Avg. Cut = 6.5 ft	
Cut = (1840 sf)(6.5 ft) = 443	
Total Cut = 443	443 yds cut
Backfill = (1840-1554)(6.5)	69 yds fill
Garage Fnd. 52 LxH (56 ft)(4.5)(4.5)	42 yds cut
Backfill (2/3)(42)	28 yds fill
Seepage Pits	54 yds cut
	10 yds fill
Total Cut	539 yds cut
Total Fill	107 yds fill
Net Soil Removed from Site	432 yds

Soil Moving Requirements - Lot 18.03	
Basement	
Area = 1456 sf Area w/1.5' overdig = 1744 sf	
Avg. Cut = 5.0 ft	
Cut = (1744 sf)(5.0 ft) = 323	
Total Cut = 323	323 yds cut
Backfill = (1744-1456)(5.0)	53 yds fill
Garage Fnd. 52 LxH (52 ft)(4.5)(4.5)	39 yds cut
Backfill (2/3)(39)	26 yds fill
Seepage Pits	54 yds cut
	10 yds fill
Total Cut	416 yds cut
Total Fill	89 yds fill
Net Soil Removed from Site	327 yds

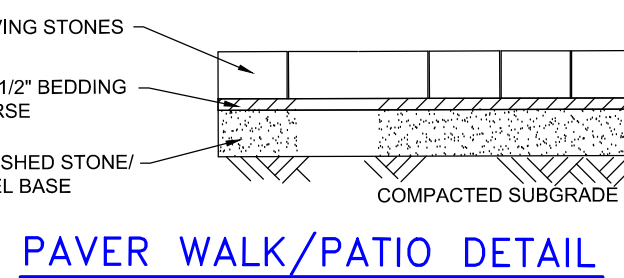
Soil Moving Requirements - Lot 18.04	
Basement	
Area = 1360 sf Area w/1.5' overdig = 1738 sf	
Avg. Cut = 6.0 ft	
Cut = (1738 sf)(6.0 ft) = 386	
Total Cut = 386	386 yds cut
Backfill = (1738-1360)(6.0)	84 yds fill
Garage Fnd. 32 LxH (32 ft)(4.5)(4.5)	24 yds cut
Backfill (2/3)(24)	16 yds fill
Seepage Pits	54 yds cut
	14 yds fill
Total Cut	464 yds cut
Total Fill	114 yds fill
Net Soil Removed from Site	350 yds



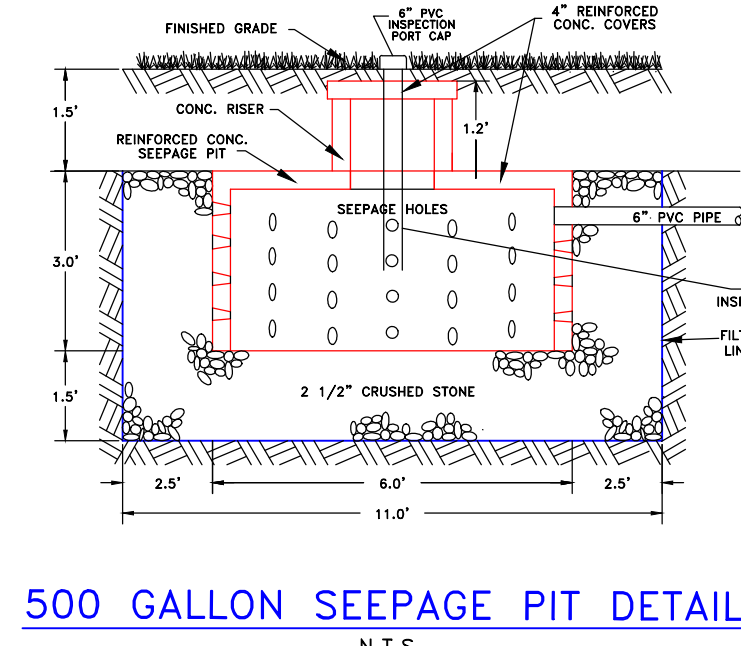
DRIVEWAY APRON DETAIL N.T.S.



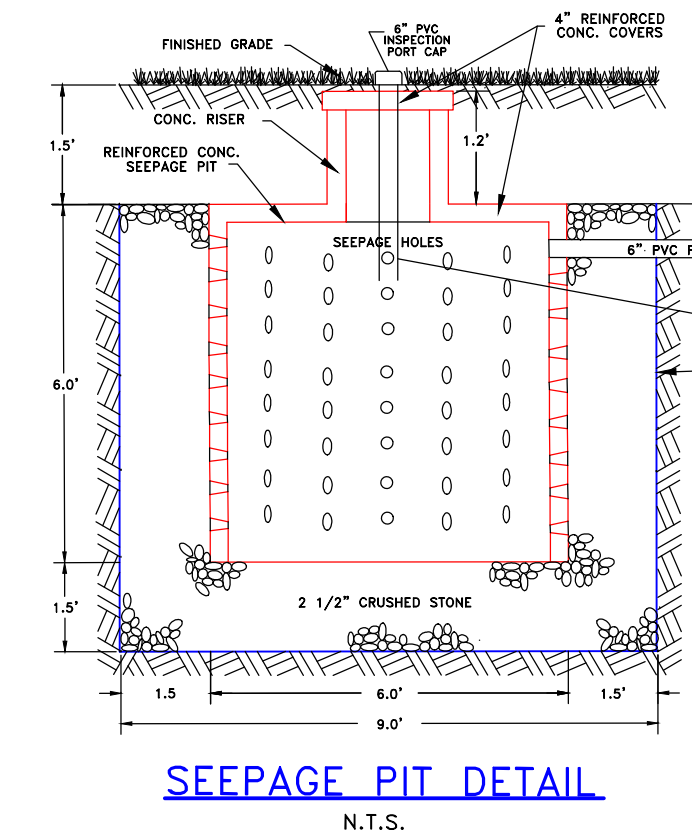
DOWNSPOUT DETAIL N.T.S.



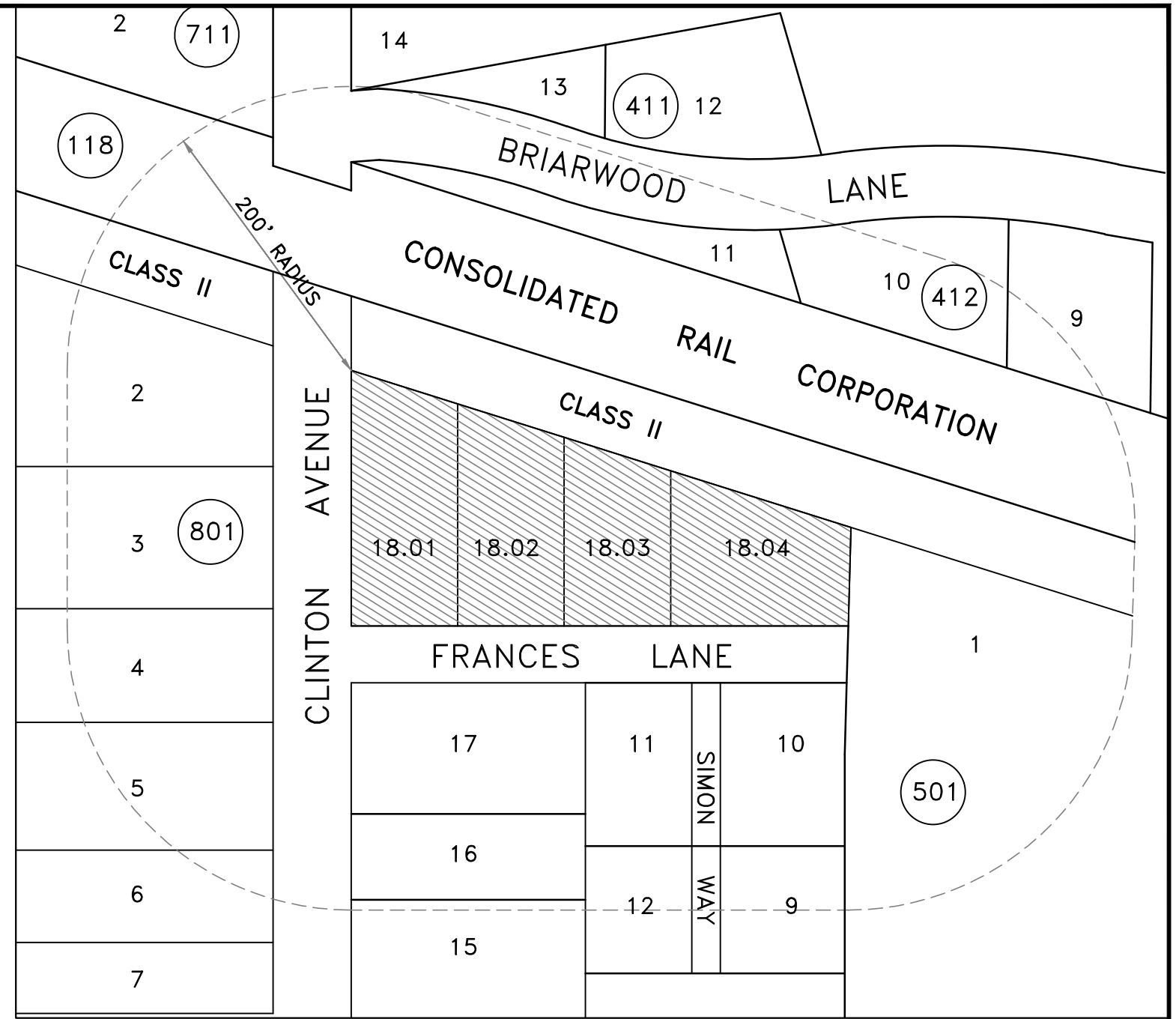
PAVER WALK/PATIO DETAIL N.T.S.



500 GALLON SEEPAGE PIT DETAIL N.T.S.



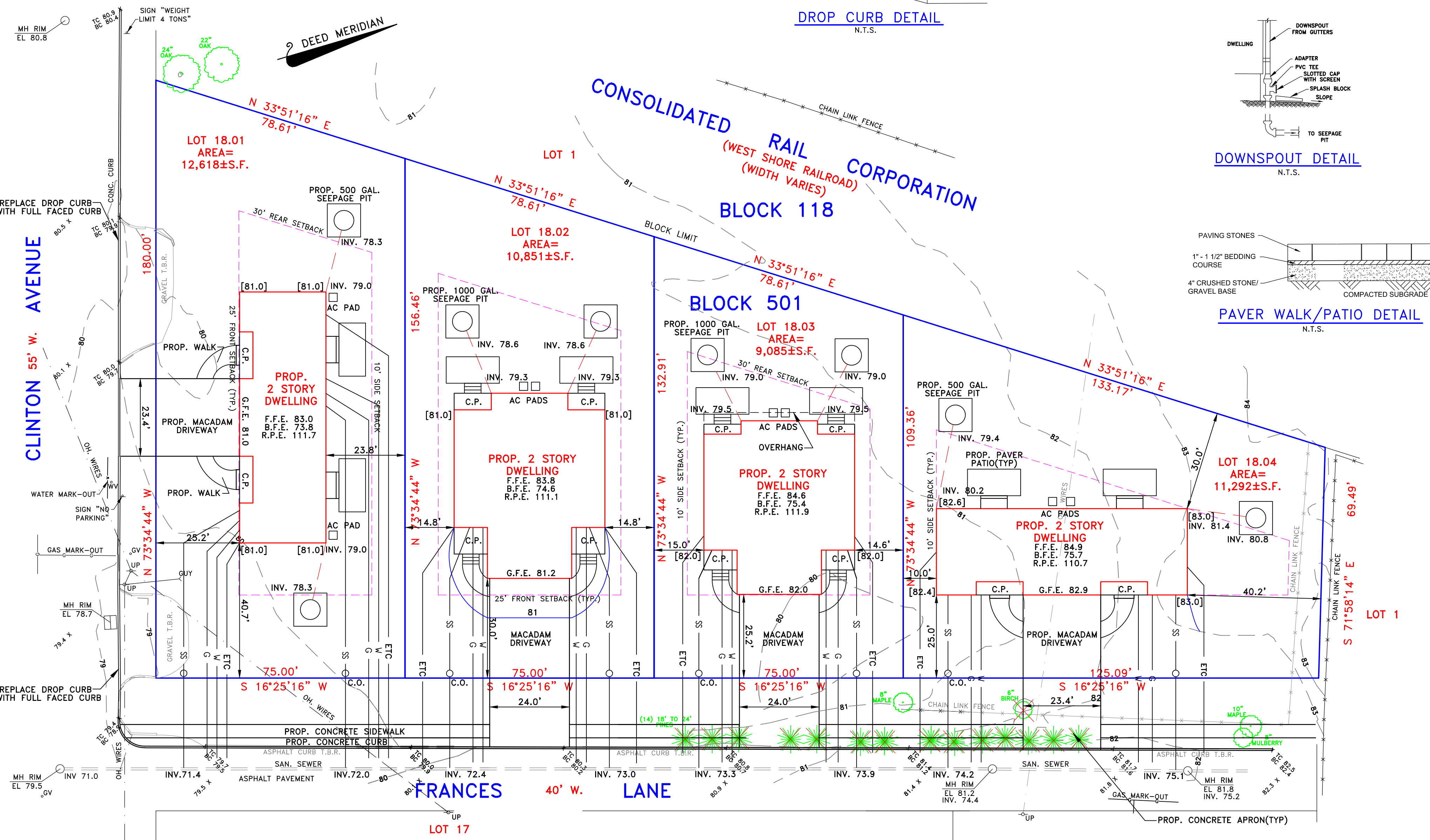
SEEPAGE PIT DETAIL N.T.S.



OWNERS WITHIN 200 FEET

BOROUGH OF NORTHVALE	BLOCK	LOT	OWNER	ADDRESS
	118	1	New York Central Lines LLC	Main Stem Northvale, NJ 07647
	411	12	Sokoloski, Roy & Barbara	400 Briarwood Lane Northvale, NJ 07647
	411	13	Whittaker, Joan	403 West Avenue Northvale, NJ 07647
	412	9	Bayraktariar, Teoman & Guzin	405 Briarwood Lane Northvale, NJ 07647
	412	10	Kim, Along	403 Briarwood Lane Northvale, NJ 07647
	412	11	Borough of Northvale	399 Briarwood Lane Northvale, NJ 07647
	501	9	Keegan, James & Patricia	411 Simon Way Northvale, NJ 07647
	501	10	AMVO Realty Co. Corp of NJ	412 Frances Lane Northvale, NJ 07647
	501	11	AMVO Realty Co. Corp of NJ	410B Frances Lane Northvale, NJ 07647
	501	12	Hogan, John	414 Simon Way Northvale, NJ 07647
	501	15	Iannaccone, Margaret	401 Clinton Avenue Northvale, NJ 07647
	501	16	YMH Realty LLC	405 Clinton Avenue Northvale, NJ 07647
	501	17	AMVO Realty Co. Corp of NJ	407 Clinton Avenue Northvale, NJ 07647
	801	2	Eichler III, Frederick	414 Clinton Avenue Northvale, NJ 07647
	801	3	Eichler & Sand Properties LLC	412 Clinton Avenue Northvale, NJ 07647
	801	4	Tueber, Anne	410 Clinton Avenue Northvale, NJ 07647
	801	5	Parker, Michael & Christina	408 Clinton Avenue Northvale, NJ 07647
	801	6	Gaggin, Thomas & Kathleen	406 Clinton Avenue Northvale, NJ 07647

- NOTES:
1. Applicant/Owner: 411 Clinton Association, LLC
 2. Property address: 411 Clinton Avenue, Northvale, NJ.
 3. Property known as Block 501, Lot 18.01 in accordance with the Tax Assessment Map of the Borough of Northvale.
 4. Property is located in the R-7.5 Residential zone.
 5. Elevations based on NAVD83 datum.
 6. Existing spot elevations indicated with an X. Proposed spot elevations in [].
 7. Underground utility locations to be verified and marked-out in the field prior to construction.
 8. The applicant shall be responsible for the replacement of any curbing or pavement damaged or destroyed as a result of construction activities.
 9. Survey and topography performed August 31, 2018 by Lantelme, Kurens & Associates, P.C.
 10. Any television, electric or cable service connection to the proposed dwellings, shall be installed underground.
 11. All existing structures and amenities to be removed.
 12. The applicant shall notify the Borough at least seventy-two(72) hours prior to any working commencing on the Borough's right-of-way, and/or seepage pit system installation. The applicant shall provide the Borough Engineer with Seasonal High Water Table(SHW) and soil infiltration testing results, consisting with Appendix E of the NJ BMP Manual, for review and approval prior to proposed seepage pit system installation.
 13. Parking Calculations: 3 Bedrooms(per unit) Parking Required - 2 Spaces; Parking Provided - 2 Spaces.



REVISED 3-3-20 SCALE, SOIL MOVEMENT, PARKING, SEEPAGE PITS, COVERAGE

Lantelme, Kurens & Associates, P.C. Engineers & Land Surveyors
 101 West Street, P.O. Box 486, Hillsdale, New Jersey 07642 (201) 666-2450

SCALE: 1"=20'	SITE PLAN FOR 411 CLINTON ASSOCIATION, LLC Lots 18.01-18.04 Block 501 411 Clinton Avenue Borough of Northvale, Bergen County, N.J.
DATE: OCTOBER 17, 2019	
PARTY: GB/DR	
PREPARED BY: CJL	
DRAWN BY: SPH	
LOT No.: 18.01-18.04 (T.M.)	PROPERTY SITUATED IN THE BOROUGH OF NORTHVALE, BERGEN COUNTY, NEW JERSEY.
BLOCK No.: 501 (F.M.)	MAP SOURCE: TAX ASSESSMENT MAP OF THE BOROUGH OF NORTHVALE, BERGEN COUNTY, NEW JERSEY.
FILE No.: SP41CLINTON	Christopher Lantelme P.E. & L.S. 39580